

# EXHIBIT C

# 1400 MONTANA AVENUE NE

NORTHEAST, WASHINGTON D.C.

## BOARD OF ZONING ADJUSTMENT SUBMISSION

DEVELOPER  
MCF 1400 MONTANA, LLC

LAND USE COUNSEL  
COZEN O-CONNER

ARCHITECT  
MAURICE WALTERS ARCHITECT, PC

CIVIL  
BOHLER DC

LANDSCAPE  
MOODY GRAHAM

TABLE OF CONTENTS	
PAGE	SHEET NAME
A01	ZONING ANALYSIS & TABULATIONS
A02	NEW LOTS / MEASURING POINT
A03	BLDG TABULATIONS
A04	UNIT TABULATIONS
A05A	SITE PLAN
A05B	SITE SURVEY
A06	RENDERING - SOUTH
A07	GROUND FLOOR
A08	TYPICAL RESIDENTIAL FLOOR PLAN
A09	FOURTH FLOOR PLAN
A10	ROOF PLAN
A11	PENTHOUSE ROOF PLAN
A12	SECTIONS
A13	ELEVATIONS
A14	ELEVATIONS
A15	PARKING LOT LAYOUT
A16	LANDSCAPE PLAN



BZA SUBMISSION: JANUARY 15th, 2019

maurice**walters** | architect

MCF 1400 Montana, LLC

**1400 Montana Ave. NE - Zoning Analysis**

**MCF 1400 Montana, LLC**

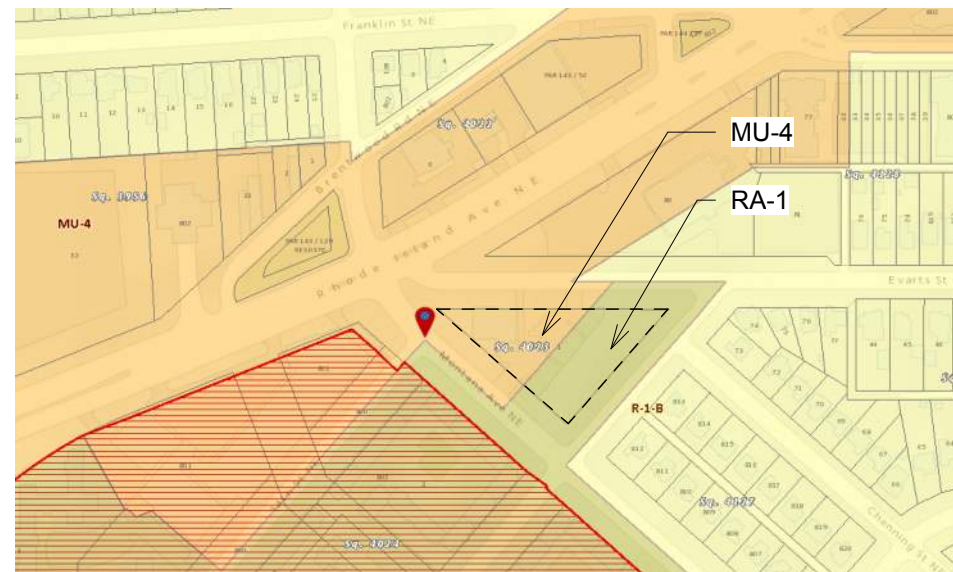
Maurice Walters Architect, PC

1/15/2019

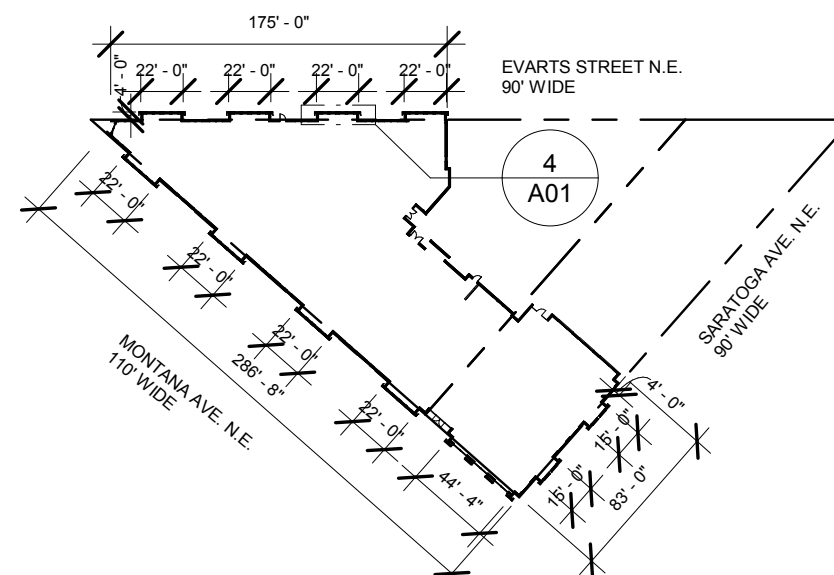
Square: 4023 Lot: 001

Allowable	MU-4 Subtitle G	RA-1 Subtitle E	Proposed
Purpose and Intent	The MU-4 zone is intended to: (a) Permit moderate density mixed-use development; (b) Provide facilities for shopping and business needs, housing, and mixed uses for large segments of the District of Columbia outside of the central core; and (c) Be located in low- and moderate-density residential areas with access to main roadways or rapid transit stops, and include office employment centers, shopping centers, and moderate bulk mixed-use centers.	The RA-1 zone provides for areas predominantly developed with low- to moderate - density development, including detached dwellings, rowhouses, and low-rise partments (300.2).	
FAR	2.5 / 3.0 w/ IZ (402.1) 1.5 max non-residential	0.9 (302.1) 20% bonus with IZ (1002.4)	MU-4: 2.68 (IZ provided) RA-1: 1.05 (IZ provided)
Building Height	50 ft (403.1)	40 ft. (303.1)	MU-4: 47'-5" RA-1: 39'-9"
Penthouse		12 ft. h, 1 story (303.2)	MU-4: 12' at habitable space, 15' at mech RA-1: 12'
Lot Occupancy	60% at residential, 75% w/ IZ (404.1)	40% (304.1)	MU-4: 67% (IZ provided) RA-1: 35% (IZ provided)
Dwelling Units	N/A	N/A	101-108 DU
Rear Yard	15 ft (405.2) measured 25' above the mean elevation of the rear lot line. For irregularly shaped lot, the furthestmost point or line from street lot line is deemed the point or line from which the req. rear yard shall be measured (B.318.1)	20 ft (305.1) In the case of a through lot or corner lot abutting three or more streets, the depth of the rear yard may be measured from the centerline of the street abutting the lot at the rear of the structure (305.2).	Where a lot does not have a rear lot line, such as when the side yards converge at a point, or where the rear lot lines intersect at an angle less than ninety degrees, a rear yard shall be measured as an arc from the point opposite the front lot line(s). (B.318.4) MU-4 arc from intersection of Everts lot line and line of zone change, 15'. RA-1 arc from intersection of Everts and Saratoga lot line intersection, 20'
Side Yard	No side yard required, if provided it must be 2' / ft. of ht., not less than 5 ft. (406.1).	A side yard shall not be required along a side street abutting a corner lot in RA-1 zone (306.4).	Not Required, Not Provided
Courtyards	Open width=4 in / ft of ht, not less than 10 ft (202.1)	width= 4 in / ft of ht, not less than 10 ft (202.1)	Open court at RA-1. 38'H = 12'-8" w 14'-8" width provided
Courtyards	Closed width=4 in / ft of ht, not less than 15 ft area=req'd width squared, not less than 350 sq ft (202.1)	width= 4 in / ft of ht, not less than 15 ft area=req'd width squared, not less than 350 sq ft (202.1)	None Provided
GAR	0.3 (407.1)	0.4 (307.1)	MU-4: 0.3 RA-1: 0.4
<b>Parking Requirement</b>			
Metro Reduction	50% reduction for any site within 0.5 mi. of Metrorail station (702.1)  50% reduction for any site within 0.25 mi. of Priority Corridor Network Metrobus route, Rhode Island Avenue (Route G8) (702.1)	50% reduction for any site within 0.5 mi. of Metrorail station (702.1)  50% reduction for any site within 0.25 mi. of Priority Corridor Network Metrobus route, Rhode Island Avenue (Route G8) (702.1)	.60 miles to Rhode Island Ave metro No reduction  .31 miles to 12th and Everts stop No reduction
Residential	1 space / 3 dwelling units in excess of 4 units (701.5)	1 space / 3 dwelling units in excess of 4 units (701.5)	106 units, 34 required, 32 provided, including 1 Car Sharing Space. Car sharing space, up to (2) may be counted as (3) spaces (c.708.2)
Bicycles (802.1)	Long Term: 1 space for each 3 dwelling units Short Term: 1 space for each 20 dwelling units	Long Term: 1 space for each 3 dwelling units Short Term: 1 space for each 20 dwelling units	106 units, 36 required, 36 provided 106 units, 6 required, 6 provided
<b>Loading</b>			
Residential	1 Loading Berth (12' x 30') / 1 Platform (100 sf) 1 Service / Delivery (10'x20')	1 Loading Berth (12' x 30') / 1 Platform (100 sf) 1 Service / Delivery (10'x20')	(1) 12'x30' Serv/Delivery Berth provide 1 Platform (100 sf) provided

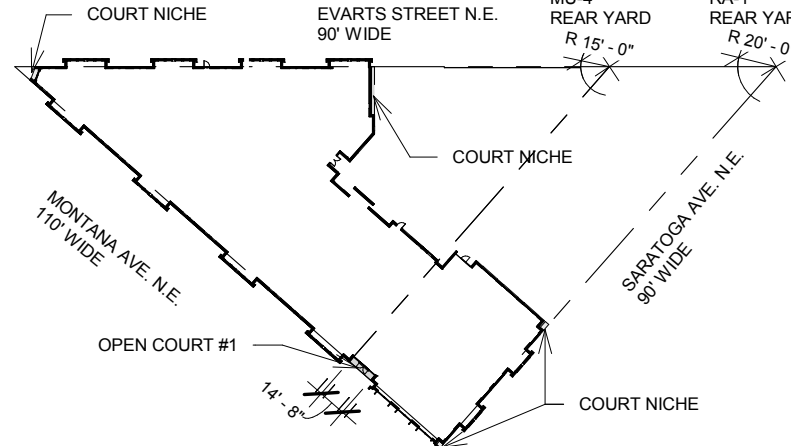
307.1 In other than R, RF, RA, RC-1, CG-1 and D-1 zones, the building height shall be the vertical distance measured from the level of the curb, opposite the middle of the front of the building to the highest point of the roof or parapet or a point designated by a specific zone district.  
308.2 BHMP shall be established at the adj natural or finished grade, whichever is the lower in elevation, at the mid-point of the building façade of the principle bldg that is closest to a street lot line. BHMP for RA-1 shall be calculated along Montana Ave. at RA-1 portion  
308.3 The height of a bldg with a flat roof shall be measured from the BHMP to the highest point of the roof excluding parapets and balustrades not exceeding four feet in height



ZONE MAP (NTS)

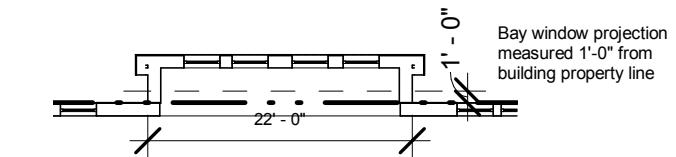


2 Bay Calculation  
1" = 100'-0"



3 Open Court Calculation  
1" = 100'-0"

4 Typ Bay Dimensions  
1/16" = 1'-0"



SUMMARY:

**MU-4 Site:**

- 23,717 sf
- Type 3A construction
- N/A stories + 12'-15' penthouse - Proposed: 12' & 15'
- 50 ft allowable zoning height - Proposed: 47'-5"
- FAR = 2.5 (3.0 IZ) - Proposed: 2.68
- 60% lot occupancy for residential use (75% IZ) - Proposed: 67%
- NFFPA 13 sprinkler system
- 0.3 GAR required, 0.351 GAR provided

**RA-1 Site:**

- 15,156 sf
- Type 3A construction
- 3 stories allowed + 12' penthouse - Proposed: 12'
- 40 ft allowable zoning height - Proposed: 39'-9"
- FAR = 0.9 (1.08 IZ) - Proposed: 1.05
- 40% max lot occupancy - Proposed: 35%
- NFFPA 13 sprinkler system
- 0.4 GAR required, 0.4 GAR provided

DCMR 12 CONSTRUCTION CODE 2013

3202.10.3.1 Width

2. Single projection of 9' allowed for bldgs having width greater than 16'
3. Allowable width of single projection shall increase 6 inches for every foot of increase in width of building between 16'-24' wide at building line
4. For buildings over 24 feet in width, the allowable width of a single projection shall increase 2 inches for every foot of increase in width of the building over 24 feet
6. On buildings 24 feet wide a double projection shall be allowed, the total width of both projections not to exceed 13 feet
7. allowable aggregate width of double or multi projections on buildings exceeding 24 feet in width at the building line shall be increased 6 inches for each foot of increased building width over 24 feet
8. the width of bay window projections shall be measured at a distance of 1 foot from the lot line or bldg restriction line

3202.10.3.2 Height

The height of bay windows shall not be limited

3202.10.3.3 Projection

2. Projection of bay window limited to 4 feet on streets more than 70 ft wide.

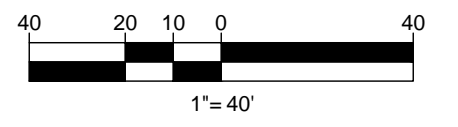
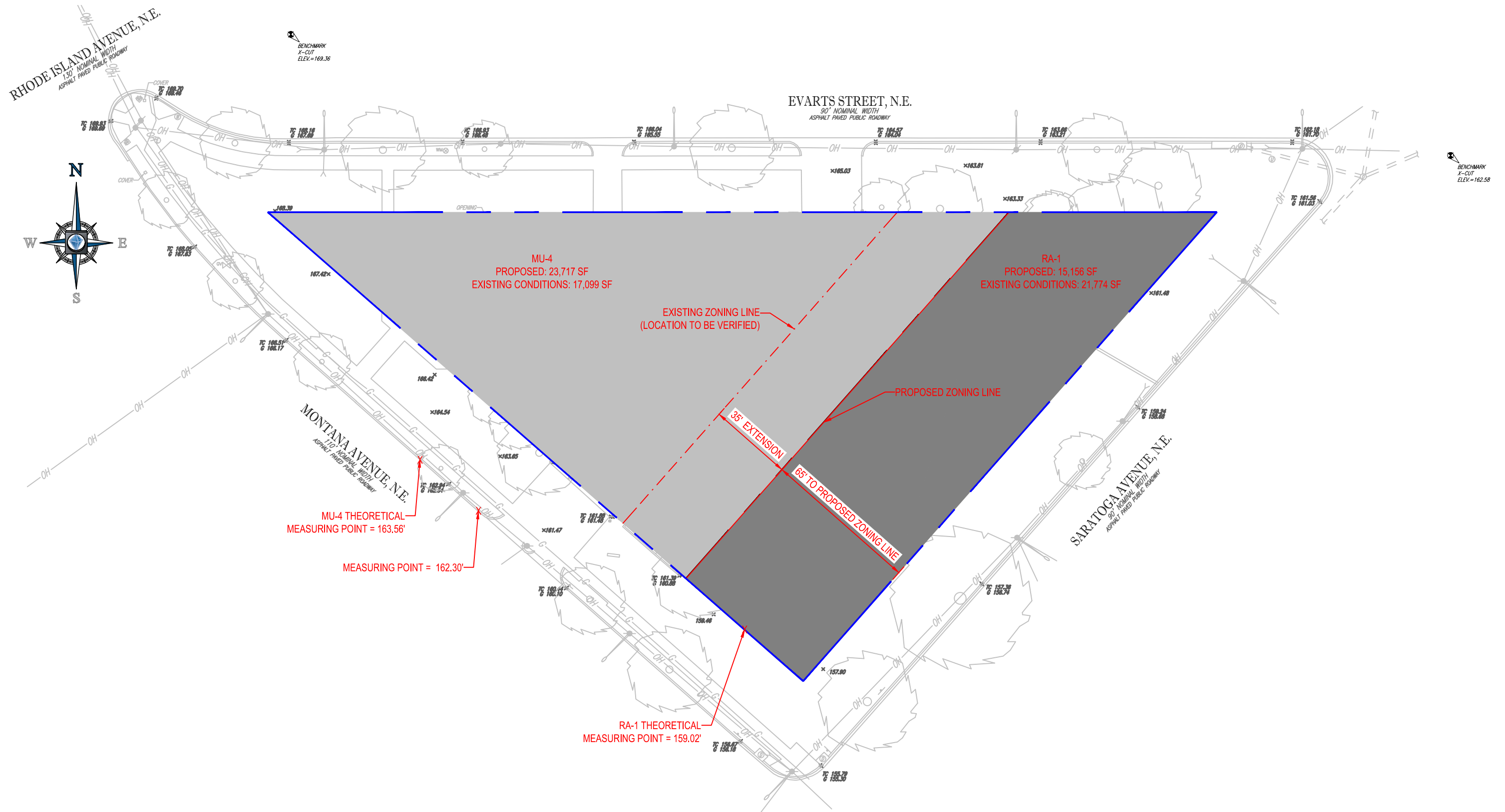
Bay Width Allowed -

Double projection - "total width of both projections not to exceed 13"  
Allowable aggregate width...on building exceeding 24 feet in width  
 $13' + ((L' - 24') * 0.5') =$  allowable combined bay projections

Montana Ave Facade:  $L = 286'-8" : 13' + ((286'-8" - 24') * 0.5')$   
 $= 144'-4"$  allowed (132'-4 provided)

Saratoga Ave Facade:  $L = 83' : 13' + ((83' - 24') * 0.5')$  = 42.5' allowed (30' provided)

Evarts St Facade:  $L = 175' : 13' + ((175' - 24') * 0.5')$  = 88'-6" allowed (88' provided)



1400 Montana Ave NE

A02

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NEW LOTS / MEASURING POINT

15 JANUARY 2019

MU-4 Building				
Floor	Height	FAR	Dwell. Units	Gross Bldg Area
	ft.	s.f.		s.f.
Penthouse Roof				
Penthouse	11.17	8,660	10	8,781
4	11.17	15,897	21	16,613
3	11.17	15,897	21	16,613
2	10.67	15,897	21	16,613
1	10.67	15,897	19	16,613
1st Fl Upper to BHMP	3.75			
<b>Totals</b>	<b>47.43</b>	<b>63,588</b>	<b>92</b>	<b>75,233</b>

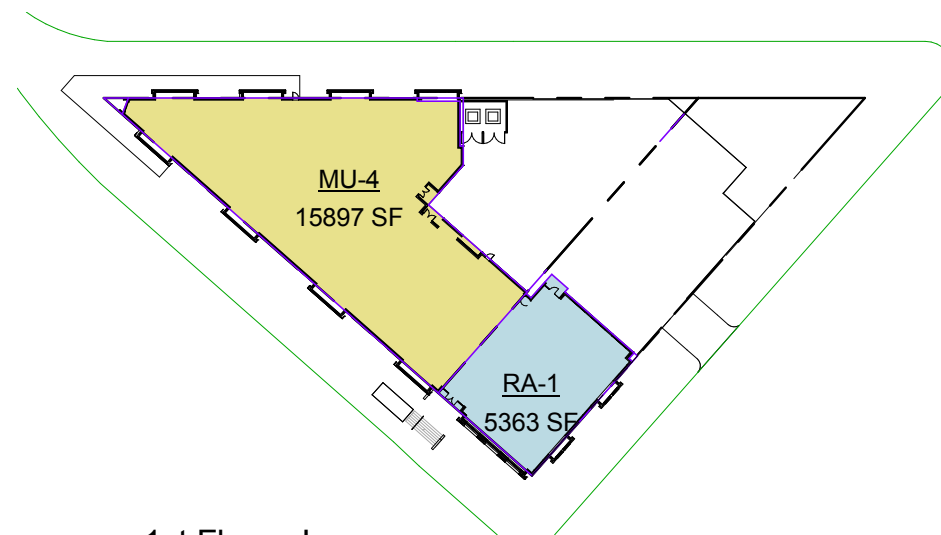
Site Area	23,717 sf
Allowable FAR	3.00 w/ IZ
Allowable SF	71,151
Proposed FAR	2.68
Allowable Penthouse FAR	0.40
Proposed Penthouse FAR	0.37
Required GAR	0.30
Allowable Lot Occupancy	75% w/ IZ
Proposed Lot Occupancy	67%

Areas are approximate, preliminary and subject to change.  
3.5 ft of parapet included in building height  
Penthouse height not included in building height

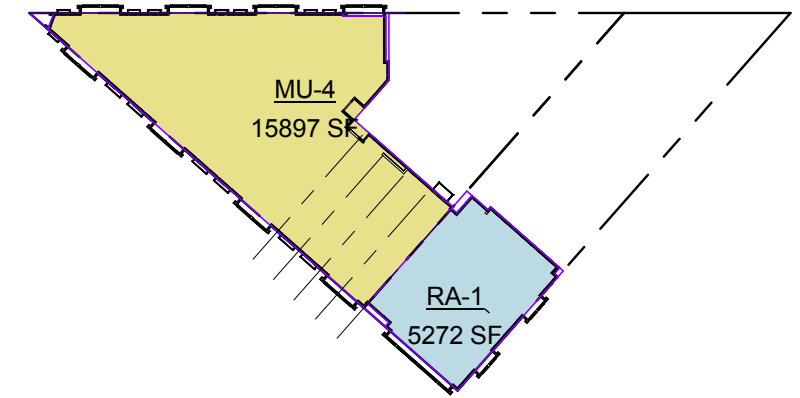
RA-1 Building				
Floor	Height	FAR	Dwell. Units	Gross Bldg Area
	ft.	s.f.		s.f.
Roof		928		928
3	11.17	5,272	6	5,571
2	10.67	5,272	6	5,571
1	14.17	5,363	2	5,571
1st Fl Lower to BHMP	3.75			
<b>Totals</b>	<b>39.76</b>	<b>15,907</b>	<b>14</b>	<b>17,641</b>

Site Area	15,156 sf
Allowable FAR	1.08 w/ IZ
Allowable SF	16,368
Proposed FAR	1.05
Required GAR	0.40
Allowable Lot Occupancy	40%
Proposed Lot Occupancy	35%

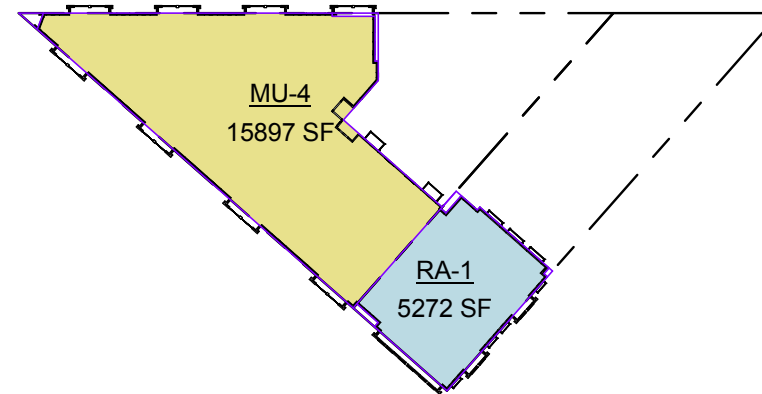
Areas are approximate, preliminary and subject to change.  
Height measured to top of roof structure excluding parapet. Penthouse height not included.



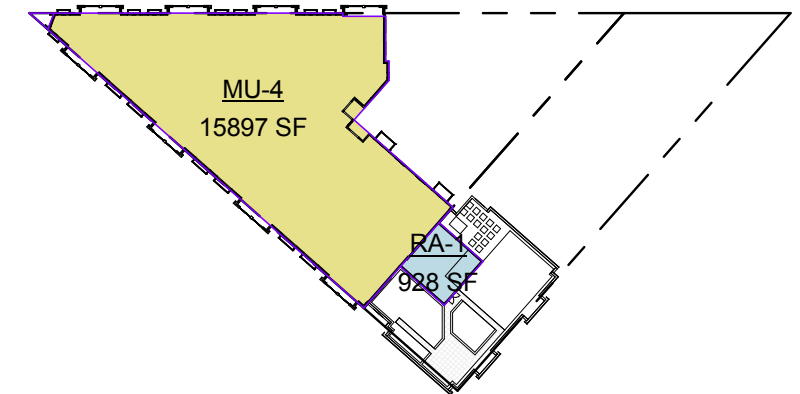
① 1st Floor - Lower  
1" = 100'-0"



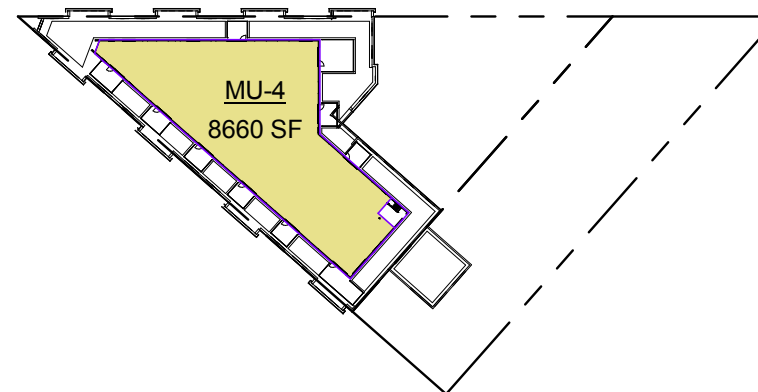
② 2nd Floor  
1" = 100'-0"



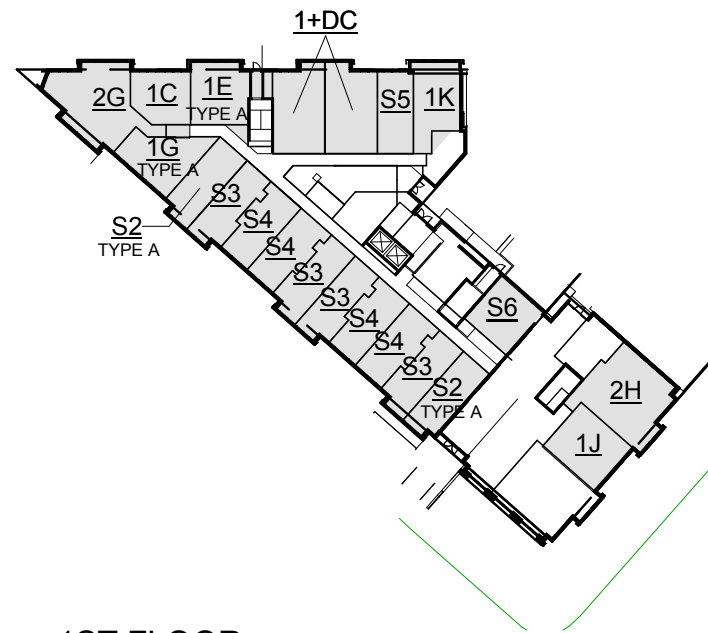
③ 3rd Floor  
1" = 100'-0"



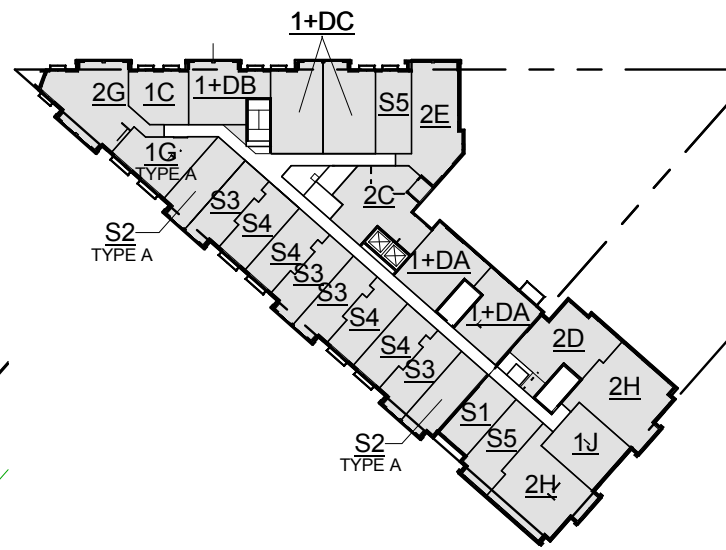
④ 4th Floor  
1" = 100'-0"



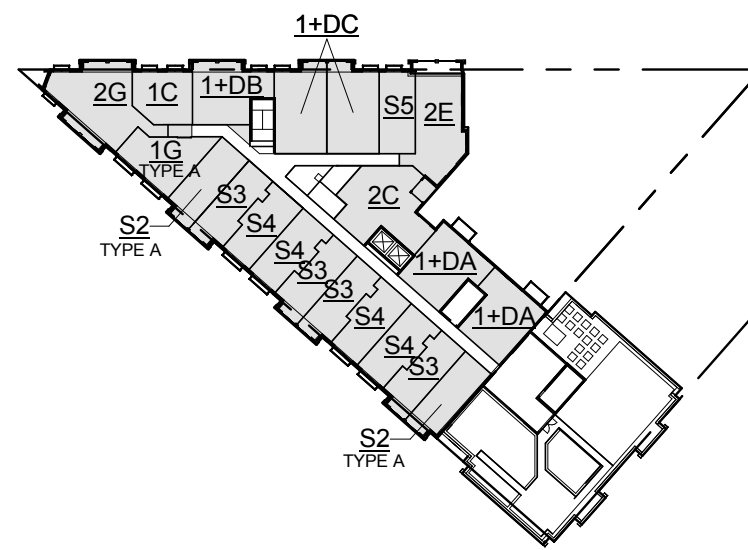
⑤ MU-4 Roof  
1" = 100'-0"



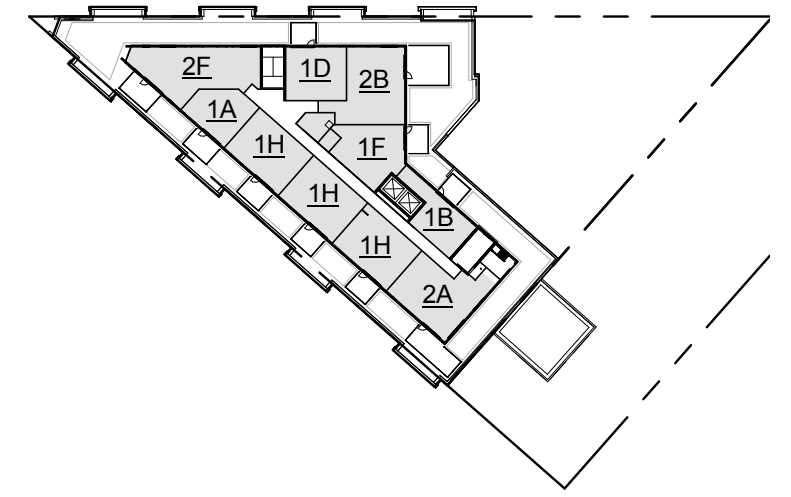
1 1ST FLOOR  
1" = 80'-0"



2 2ND & 3RD FLOOR  
1" = 80'-0"



3 4TH FLOOR  
1" = 80'-0"

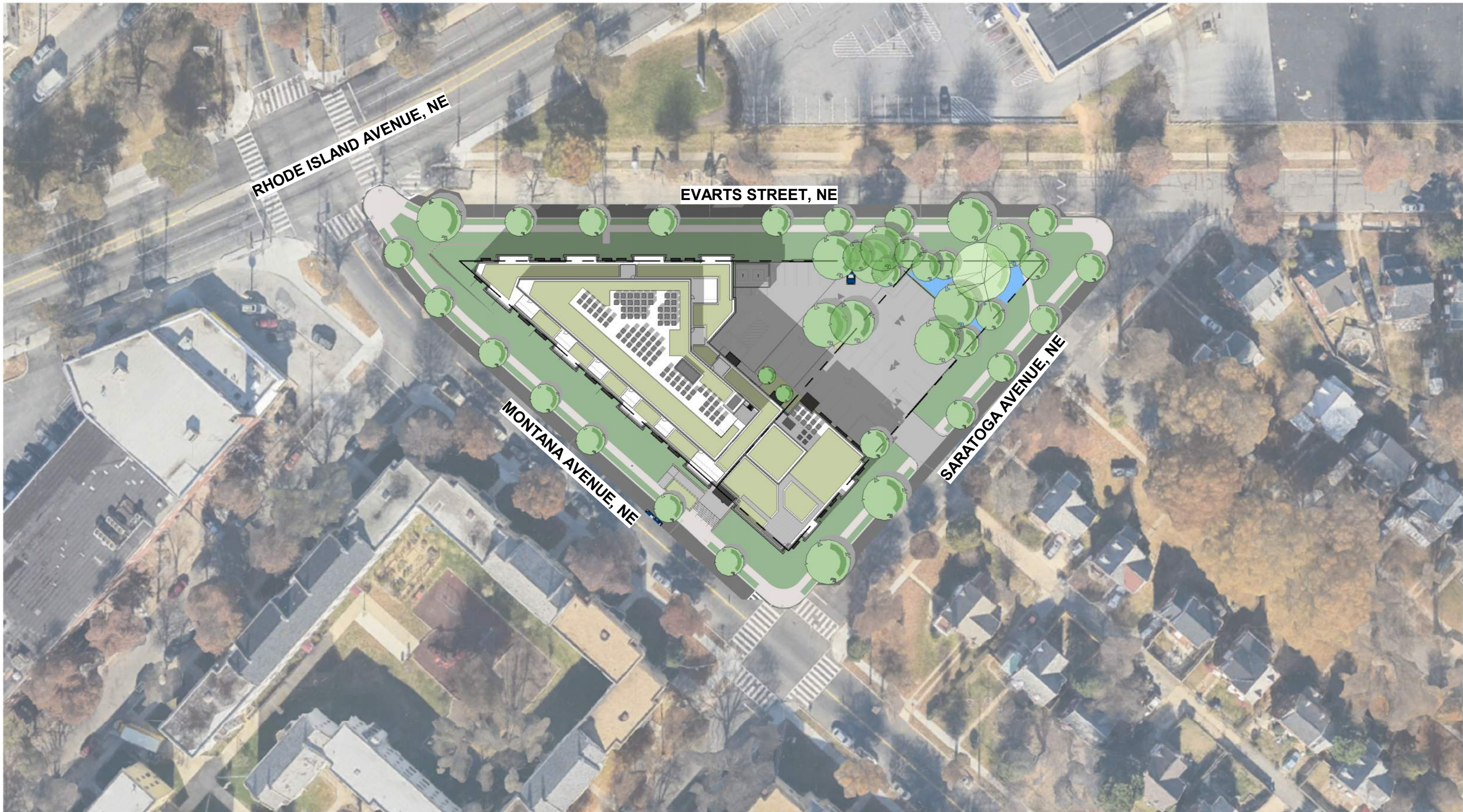


4 ROOF  
1" = 80'-0"

Unit Tabulation

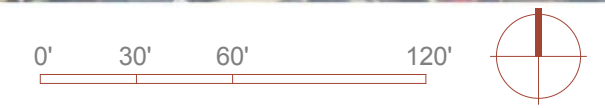
Floor	Height ft.	Total Bldg FAR s.f.	Amenity g.s.f.	Service g.s.f.	Total Bldg Gross s.f.	Eff.	Res. Net s.f.	Unit Type and Size (avg nsf) - Note: Bays now included in Net Areas																											
								JUNIOR 1 BD / STUDIO						1 BD						1 BD + DEN						2 BD						Total			
								S1	S2	S3	S4	S5	S6	1A	1B	1C	1D	1E	1F	1G	1H	1J	1K	1+DA	1+DB	1+DC	2A	2B	2C	2D	2E		2F	2G	2H
								484	560	540	540	544	580	480	520	529	595	632	640	645	686	695	696	750	739	793	890	897	991	996	999	1018	1100	1122	Total
								TYPE A						TYPE A						TYPE A						TYPE A									
Penthouse		8,660			8,781	81%	7,099							1	1		1		1		3														10
4	11.33	15,897			16,613	85%	14,070		2	4	4	1				1			1				2	1	2	1	1				1			1	21
3	10.67	21,169			22,184	86%	19,032	1	2	4	4	2				1				1			2	1	2		1						1	2	27
2	10.67	21,169			22,184	86%	19,032	1	2	4	4	2				1				1			2	1	2		1						1	2	27
1	10.67	21,260	2,906	1,664	22,184	61%	13,567		2	4	4	1	1				1			1			2	1	2		1					1	1	21	
Totals (see note 7)	43.34	88,155			91,946	79%	72,800	967	4,482	8,633	8,639	3,264	580	480	520	2,116	595	632	640	2,578	2,059	2,086	696	4,497	2,216	6,345	890	897	2,974	1,991	2,996	1,018	4,401	5,608	72,800
Total / Type																																			106
Avg Size / Type (nsf)																																			20
% of Total																																			46%
H/C Type A Units Req'd (15%)																																			7.4
H/C Type A Units Provided																																			8

1. Calculations are preliminary, approximate and subject to change.  
 2. Residential net floor area for dwelling units taken from centerline of demising partitions to corridor face of corridor partition to exterior face of stud at exterior wall.  
 3. Residential NET areas for each unit type are averages per type



1400 Montana Ave NE

A05A



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SITE PLAN

15 JANUARY 2019

NOTES:

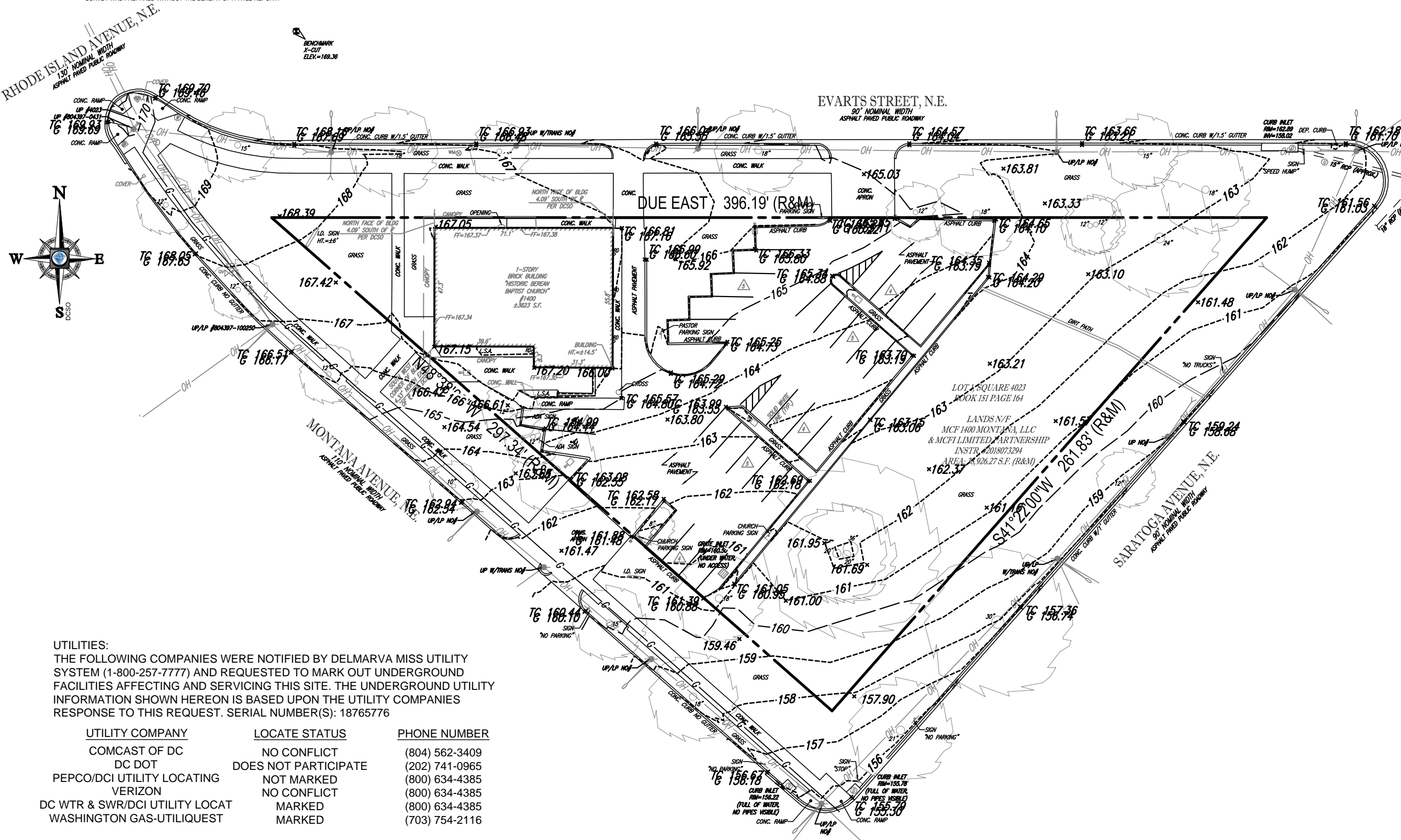
- PROPERTY IS LOT 1 SQUARE 4023 RECORDED IN BOOK 151 PAGE 164 AMONG THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA AND BEING THE LANDS OF MCF 1400 MONTANA, LLC AND MCFI LIMITED PARTNERSHIP AS RECORDED IN INSTRUMENT NO. 2018073294, RECORDED AMONG THE OFFICE OF THE RECORDED OF DEEDS FOR THE DISTRICT OF COLUMBIA.
- AREA = 38,926.27 SQUARE FEET
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- THIS SURVEY WAS PERFORMED IN THE FIELD ON NOVEMBER 7, 2018 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
- THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

- ELEVATIONS ARE BASED ON DCDPW DATUM DETERMINED BY DIFFERENTIAL LEVELING AND TIED IN TO THE DC BENCHMARK MAP NO. 7-32 WITH A PUBLISHED ELEVATION OF 122.81 FEET.
- THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOOD PLAIN) PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, DISTRICT OF COLUMBIA, WASHINGTON, D.C., PANEL 36 OF 100", MAP NUMBER 1100010036C, WITH A MAP REVISED DATE OF SEPTEMBER 27, 2010.
- PARKING: 27 STANDARD 2 ADA 29 TOTAL SPACES
- BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS, AND VERIFIED IN THE FIELD INsofar AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH THE ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO REVIEW AND APPROVAL BY THE OFFICE OF THE SURVEYOR, DISTRICT OF COLUMBIA. A "SURVEY TO MARK" PREPARED BY THE DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR IS REQUIRED TO ESTABLISH A FINAL BOUNDARY DETERMINATION AND CONFIGURATION FOR THIS PROPERTY. THIS SURVEY DOES NOT REFLECT A "SURVEY TO MARK". THE PROPERTY LINE REFLECTED ON THIS SURVEY IS NOT TO BE USED FOR ANY CONSTRUCTION STAKEOUT PURPOSES; A "SURVEY TO MARK" MUST BE APPROVED BY THE OFFICE OF THE SURVEYOR PRIOR TO BEGINNING ANY BUILDING DEMOLITION OR CONSTRUCTION OPERATIONS.



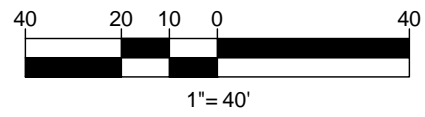
LOCATION MAP

COPYRIGHT 2013  
DELOREME STREET ATLAS USA 2013  
SCALE: 1"=2000'



LEGEND

- 123 — EXISTING CONTOUR
- x 123.45 EXISTING SPOT ELEVATION
- x TC 123.45 EXIST. TOP OF CURB ELEVATION
- x G 122.95 EXIST. GUTTER ELEVATION
- ⊗ GAS VALVE
- OH — OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARK
- UTILITY POLE
- ⊠ TRAFFIC SIGNAL
- ⊙ UNKNOWN MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ WATER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ WATER METER
- SIGN
- BOLLARD
- L.S.A. LANDSCAPED AREA
- ☀ AREA LIGHT
- ⊠ ROOF DRAIN
- ⊠ DENOTES PARKING SPACE COUNT
- ⊙ BENCHMARK
- UTILITY POLE/LIGHT POLE
- GUY WIRE
- ⊙ TREE (SIZE AS NOTED)
- (R&M) RECORD AND MEASURED



UTILITIES:  
THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-257-7777) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 18765776

UTILITY COMPANY	LOCATE STATUS	PHONE NUMBER
COMCAST OF DC	NO CONFLICT	(804) 562-3409
DC DOT	DOES NOT PARTICIPATE	(202) 741-0965
PEPCO/DCI UTILITY LOCATING	NOT MARKED	(800) 634-4385
VERIZON	NO CONFLICT	(800) 634-4385
DC WTR & SWR/DCI UTILITY LOCAT	MARKED	(800) 634-4385
WASHINGTON GAS-UTILIQUEST	MARKED	(703) 754-2116

1400 Montana Ave NE

MCF 1400 Montana, LLC

A05B

SITE SURVEY

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15 JANUARY 2019





RENDERING VIEW FROM INTERSECTION OF MONTANA AVE & SARATOGA AVE NE

1400 Montana Ave NE

A06

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RENDERING - SOUTH

15 JANUARY 2019



**NOTES:**

1. The number, size, and locations of amenity spaces, stairs, and elevators are preliminary and shown for illustrative purposes only. Final layouts may vary.
2. Unit mix and sizes are subject to change.
3. Proposed location of parking access driveways subject to review and approval by the District Department of Transportation.
4. Utility poles and lines not shown for graphic purposes.

**PARKING: 32**  
**16 FULL SIZE**  
**16 COMPACT**



1400 Montana Ave NE

MCF 1400 Montana, LLC

GROUND FLOOR

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15 JANUARY 2019



**NOTES:**

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1400 Montana Ave NE

MCF 1400 Montana, LLC

TYPICAL RESIDENTIAL FLOOR PLAN

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15 JANUARY 2019



**NOTES:**

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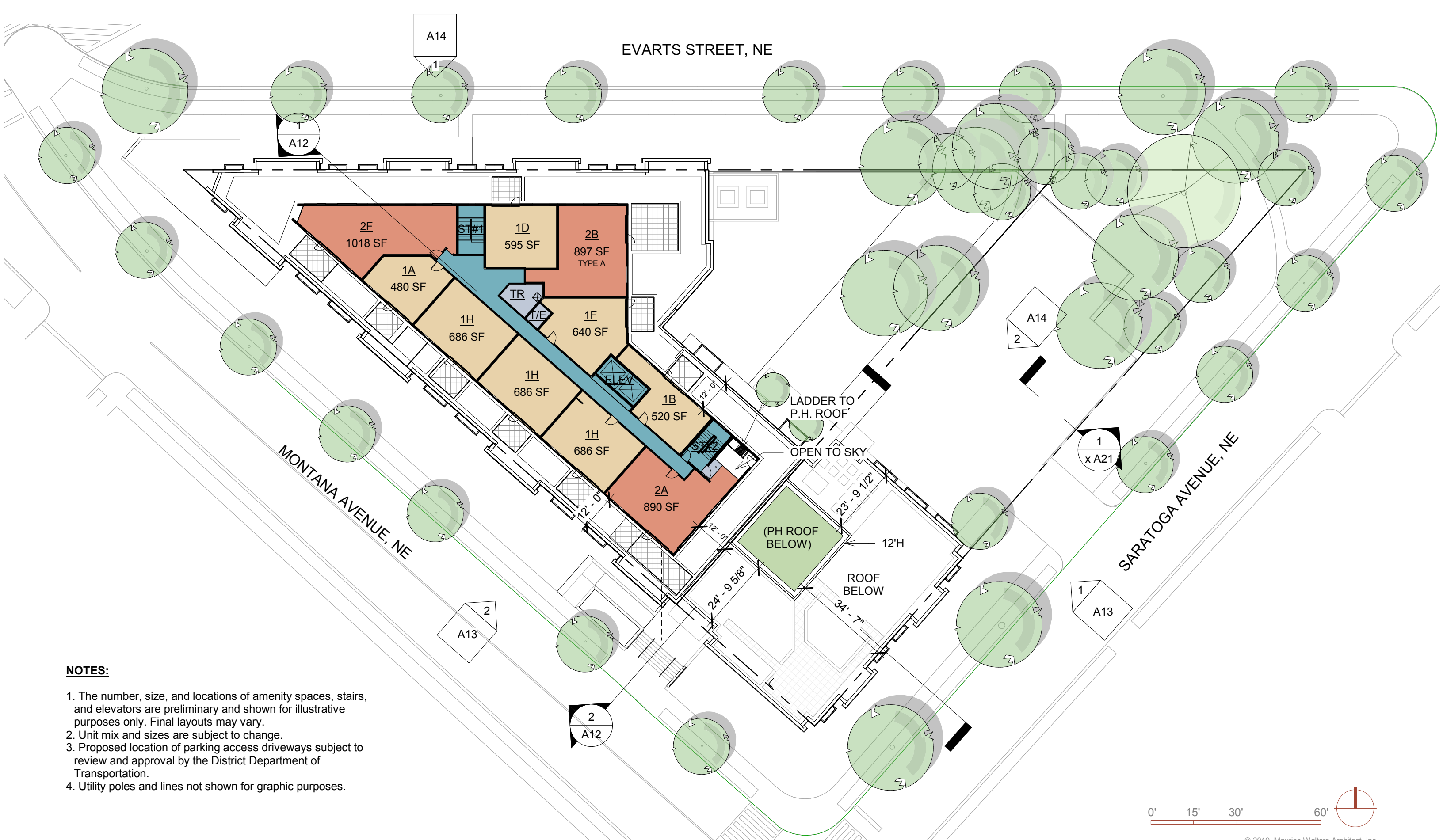
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1400 Montana Ave NE

MCF 1400 Montana, LLC

FOURTH FLOOR PLAN

15 JANUARY 2019



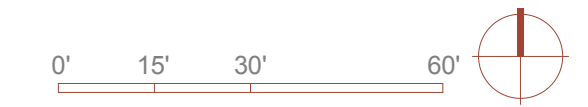
**NOTES:**

1. The number, size, and locations of amenity spaces, stairs, and elevators are preliminary and shown for illustrative purposes only. Final layouts may vary.
2. Unit mix and sizes are subject to change.
3. Proposed location of parking access driveways subject to review and approval by the District Department of Transportation.
4. Utility poles and lines not shown for graphic purposes.

1400 Montana Ave NE

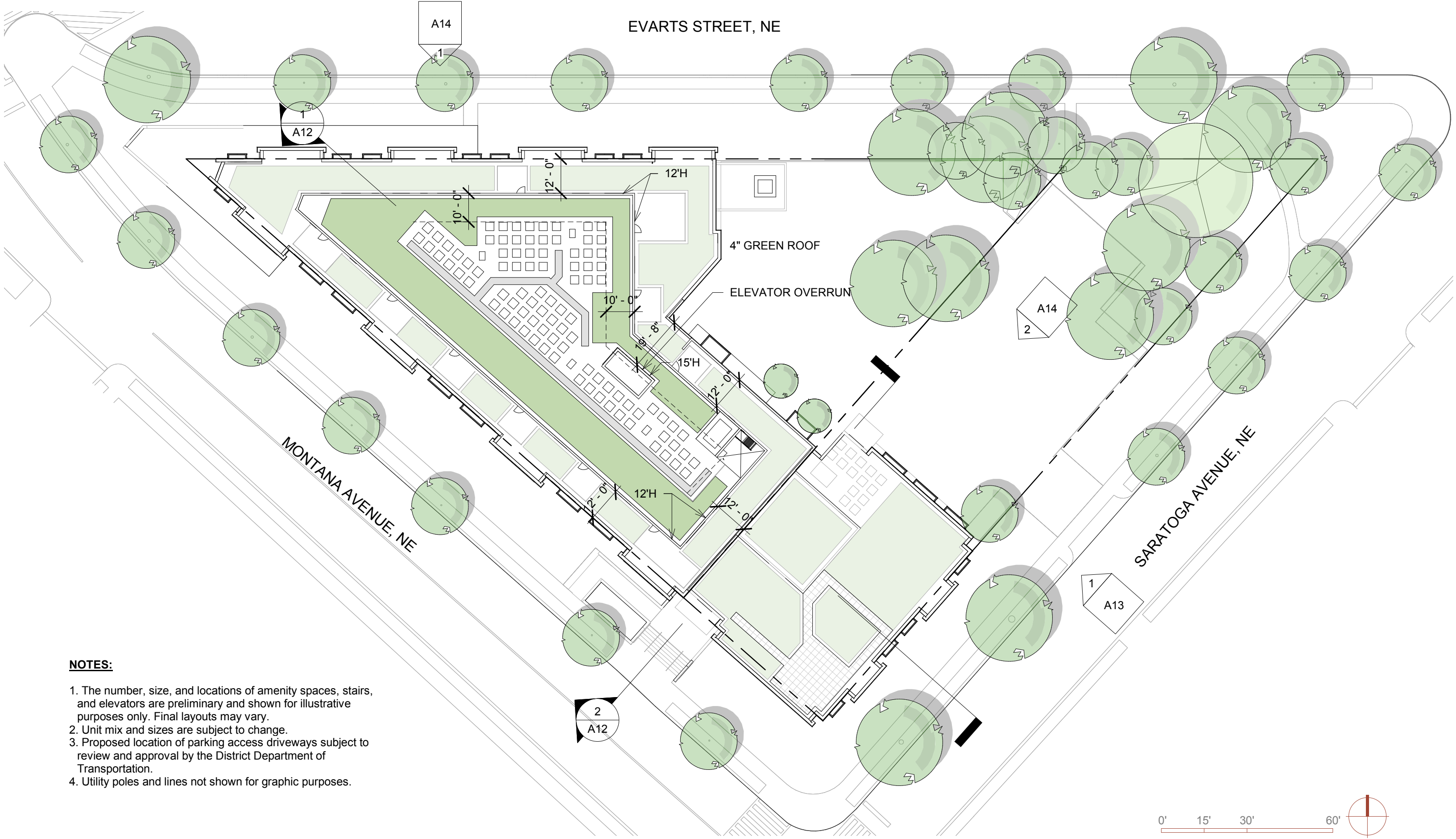
MCF 1400 Montana, LLC

**ROOF PLAN**



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15 JANUARY 2019



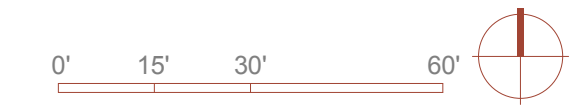
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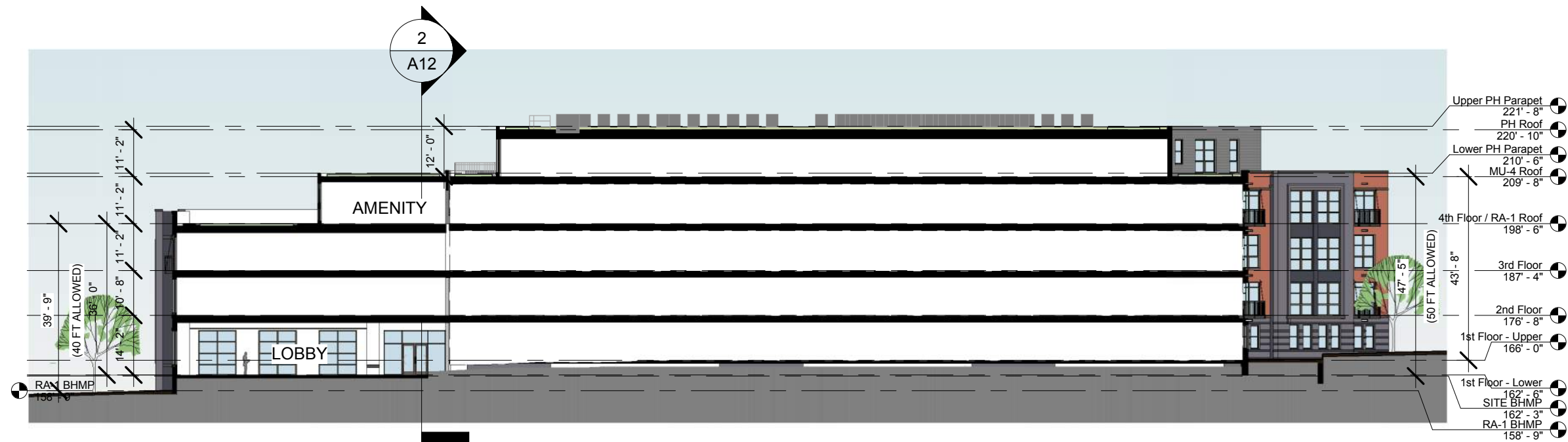
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PENTHOUSE ROOF PLAN

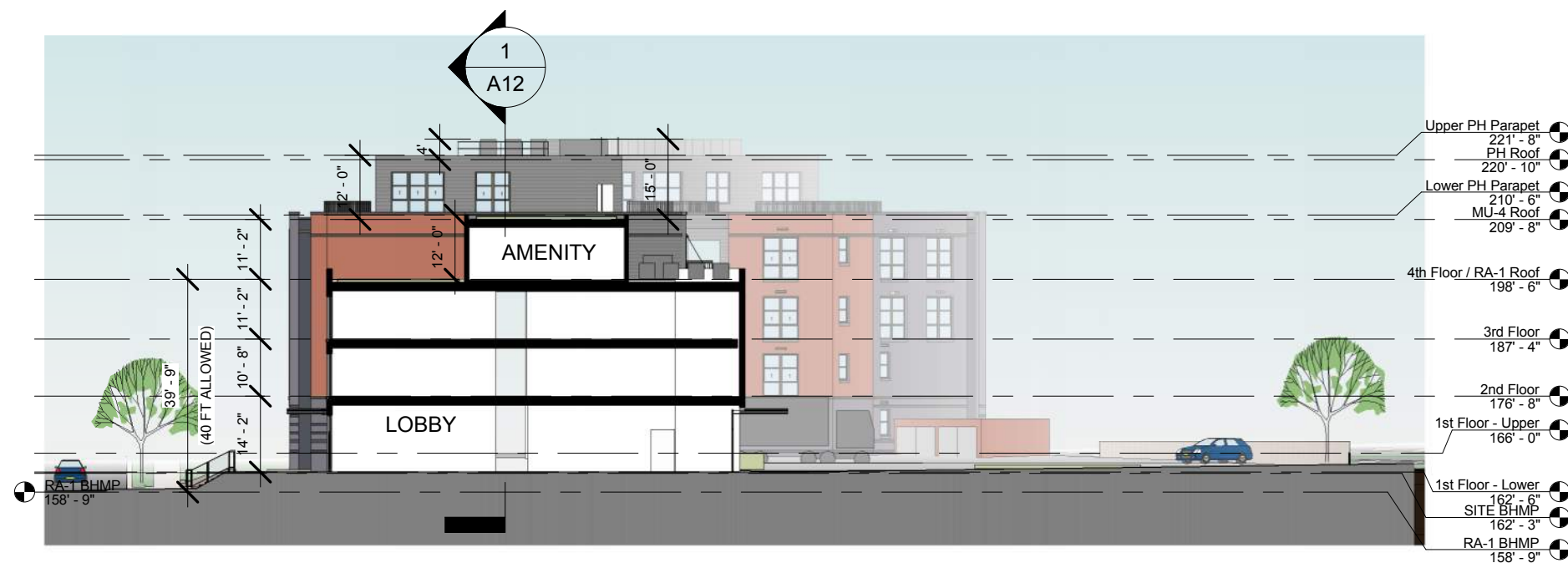


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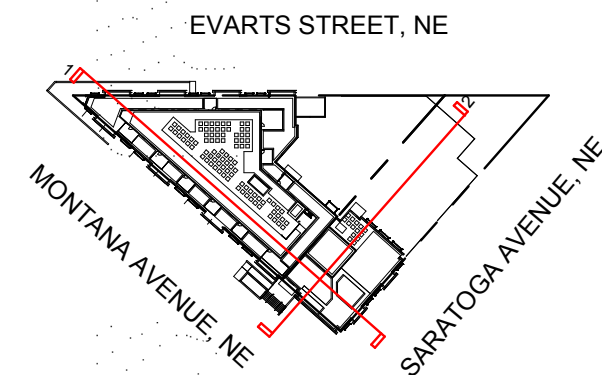
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1 SECTION - N-S CORRIDOR  
1" = 30'-0"



2 SECTION - E-W THROUGH LOBBY  
1" = 30'-0"





① SOUTHEAST ELEVATION (SARATOGA ST NE)  
1" = 30'-0"



② SOUTHWEST ELEVATION (MONTANA AVE NE)  
1" = 30'-0"

Note: The Applicant seeks the flexibility to make minor refinements to window, door, balcony, bay and other architectural elements to coordinate with final design of service space and residential amenity and dwelling unit space, that do not significantly alter the exterior design.



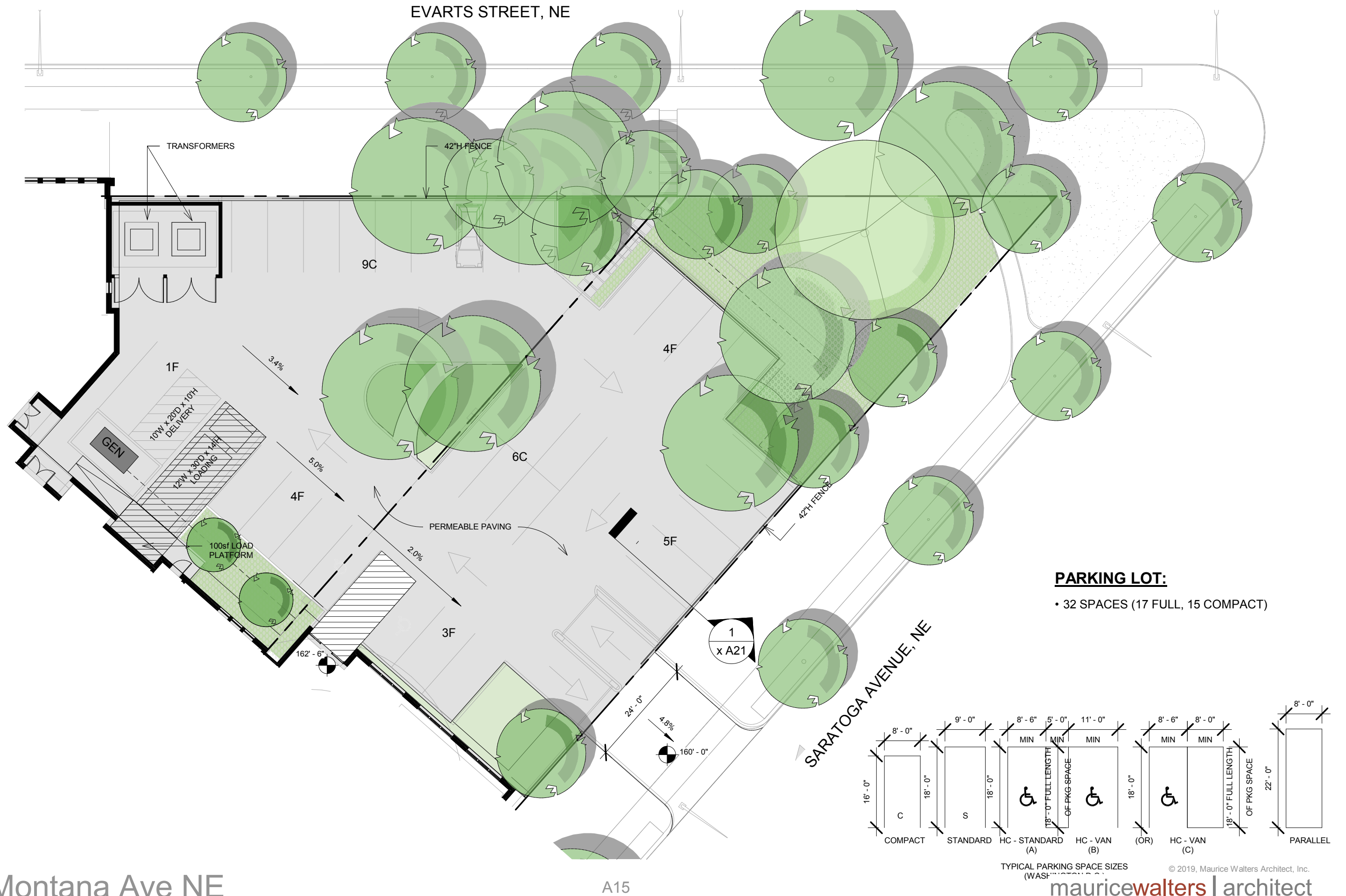


① NORTH ELEVATION (EVARTS ST. NE)  
1" = 30'-0"

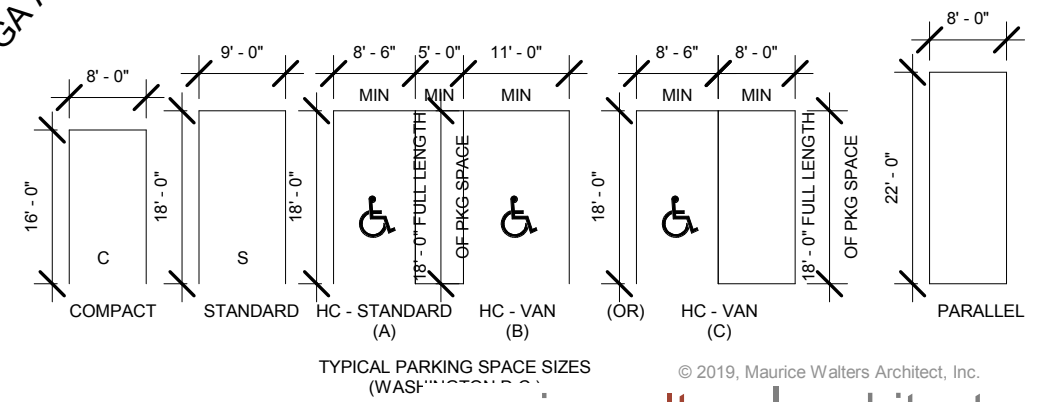


② EAST ELEVATION (EVARTS ST. NE)  
1" = 30'-0"

Note: The Applicant seeks the flexibility to make minor refinements to window, door, balcony, bay and other architectural elements to coordinate with final design of service space and residential amenity and dwelling unit space, that do not significantly alter the exterior design.



**PARKING LOT:**  
 • 32 SPACES (17 FULL, 15 COMPACT)



1400 Montana Ave NE

MCF 1400 Montana, LLC

PARKING LOT LAYOUT

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